



City of Ann Arbor

PLANNING & DEVELOPMENT SERVICES — PLANNING DIVISION

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TO: Ron Mucha, Petitioner
Tom Covert, Petitioner's Agent

FROM: Alexis DiLeo, City Planner

DATE: February 13, 2018

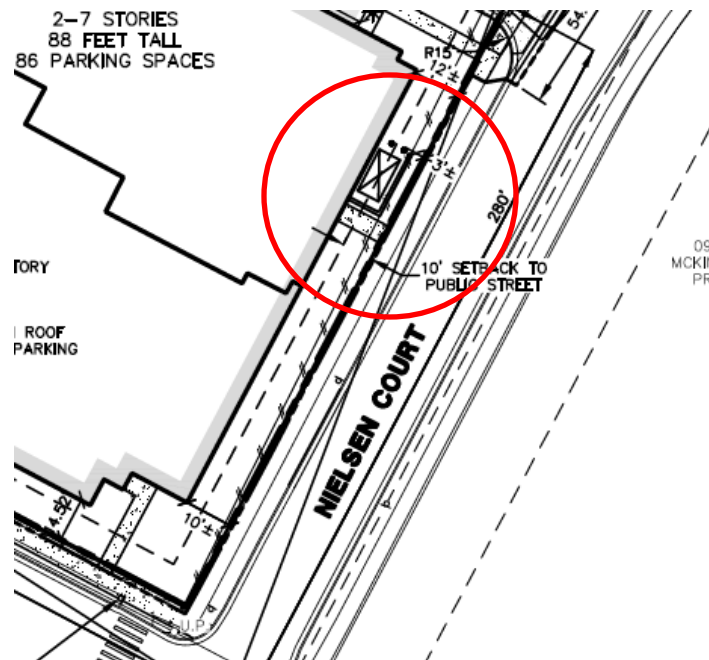
SUBJECT: 1140 Broadway
Administrative Amendment to Approved Site Plan (SP18-004)
Land Division (LD18-003)
Planning Review #1

Planning staff has reviewed the submitted materials for this petition in compliance with city codes, ordinances and plans. The comments below note compliance, identify where the proposed development is deficient in some way, and suggests ways in which staff believes the proposal may be improved. Responses and revised plans addressing these comments should be provided for further review. Please note this memo provides comments from Planning staff and focuses on zoning (use, area, height and placement), off-street parking, general site layout, and future land use items. Other service units are reviewing the submitted materials for additional development-related items. Your responses and revised plans must correct or address comments provided by all service units.

1. **Approved Site Plan** – You have requested to amend the approved site plan: 1140 Broadway Planned Project Site Plan, December 4, 2017, file no. SP17-009. The approved site plan is associated with zoning petition Z17-003 (approved December 4, 2017) and variance application ZBA17-025 (approved August 23, 2017).
2. **Land Division** – The proposed parcels meet the minimum lot area, minimum lot width, and access requirements of the C1A/R With Conditions zoning district and Chapter 55 Zoning Ordinance.
3. **Proposed Amended Site Plan**
 - a. Land Division – The approved development on each proposed parcel on the site plan complies with the maximum permitted FAR and minimum setback requirements of the C1A/R With Conditions district. The approved development on each parcel also provides the minimum required off-street parking.
 - b. Remove the FAR with premium line in the comparison chart, it is unnecessary.

- c. It is not necessary to note the difference between FAR with parking and FAR without parking in the comparison chart.
- d. In the comparison chart, do provide the total floor area of each building without any exclusions (often called gross floor area), and provide the floor area of each building with only stairwells, elevator shafts and chutes excluded. Show areas that have been excluded from floor area on the architectural plans. Breakdowns of floor area by use on the site or by building are only necessary for parking calculations.
- e. Cite the off-street parking variance granted in the comparison chart (ZBA17-025, approved August 23, 2017) and indicate that the required vehicle parking is 0.9 spaces per dwelling unit.
- f. Note the number of dwelling units by building in the comparison chart.
- g. Review the plans set to note approvals already granted that were previously proposed. Example, sheet 02, Site Plan Requirements line 5 “a variance is proposed to reduce the number of parking spaces.”
- h. Provide the proposed phasing plan on a separate sheet. Review the plan set for consistent use of “phase.” Provide a written description of the phasing plan, including both on and off-site improvements. Clarify what is meant to be the difference between phase and stage – see Project Phasing Plan label and text on the cover sheet and Sheets 07, 09, 10.
- i. The cover letter and cover sheet amendment description indicates a 1,007-square foot addition to Building A. Please provide a detail on the plans as this addition is not evident on drawing.
- j. Label the architectural drawings with the December 4, 2017-approved color palette of 1140 Broadway Planned Project Site Plan.

- k. Mechanical units are not permitted in the front setback area. Move the proposed mechanical unit between Building B and Neilsen Court.



- l. As the Washtenaw County Water Resources Commissioner has jurisdiction over this development, contact the WCWRC to confirm the proposed phasing plan (and/or land division) does not impact their previous approval or get an updated approval if required.