



April 11, 2018

City of Ann Arbor Planning and Development Services Unit  
100 N. Fifth Avenue  
Ann Arbor, MI 48107

Attn: Ms. Alexis DiLeo  
Mr. Brett Lenart

Re: 1140 Broadway  
Site Plan – SP17-009  
***Midwestern File No.: 16196A***

Dear Ms. DiLeo:

Midwestern Consulting has revised the plans to incorporate the requested changes and/or provided summary offering the following responses to the comments providing a description of changes made to the site plan set as submitted with this letter.

**City of Ann Arbor – Engineering Department – Ms. Nichole Woodward – March 26, 2018**

1. Sheet 03 – Boundary Survey and Land Division: All bearings and distances between the legal description and the survey sketch shall match one another. In addition, incorporate any revisions required by Matt Sheridan under the Land Division into this sheet.

***Revisions as required by Mr. Sheridan have been completed and coordinated with our survey department and these plans.***

2. Sheet 04 – Easement Plan:
  - a. An access easement shall be granted over the private driveways to provide legal access to residents of Proposed Parcel B. The easement shall appear on this sheet, Sheet 07 (Site Layout Plan) and Sheet 10 (Site Utility Plan).

***We are showing the Reciprocal Easement Agreement Area for access on this sheet.***

- b. A utility easement shall be granted for the on-site storm sewer piping as the site proposes as shared detention system. The easement shall appear on this sheet, Sheet 07 (Site Layout Plan) and Sheet 10 (Site Utility Plan).

***We are showing the Reciprocal Easement Agreement Area for stormwater piping and system on this sheet.***

- c. The legal description for Proposed Easement "L", the Proposed Public Access Easement situated along Traver Creek is under review.

*Noted.*

3. Sheet 10 – Site Utility Plan:

- a. Proposed utilities shall match those shown on the already submitted Civil Plan set.

*We have updated the utilities shown with this plan set to match the Detailed Engineering Drawings.*

- b. All main line water valves shall be placed five feet from their respective tees. The symbol for the valve shall be shown in this location. If existing utilities are located five feet off the exiting water main, the proposed valve shall be placed ten feet off the connection point.

*Valves have been adjusted per our meeting of the 4<sup>th</sup>.*

- c. The fire hydrant lead for Building B may be taken off the proposed 12" on-site water main rather than off the 12" water main in Maiden Lane.

*Plans revised.*

- d. Long water service leads parallel to the right-of-way line are not permissible. The water service leads for Building B shall be taken off the 12" water main located in the Maiden Lane right-of-way. A 12" main line valve shall be shown five feet off of and to the west of the service leads along the existing 12" water main.

*Plans have been revised to change location of the lead locations.*

- e. It appears that the proposed water main is passing through a proposed storm structure on Broadway Street.

*We have updated the utilities shown with this plan set to match the Detailed Engineering Drawings.*

**City of Ann Arbor – Stormwater and Floodplain Programs – Mr. Jerry Hancock – March 23, 2018**

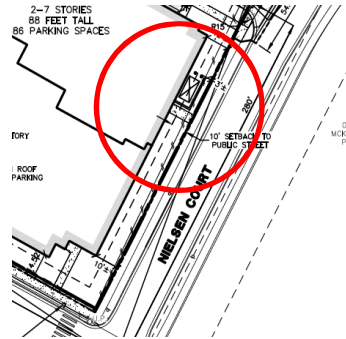
A Letter of Map Revision based on Fill (LOMR-F) is required for this project per National Flood Insurance Program (NFIP) regulations and the Michigan Department of Environmental Quality (MDEQ) Permit. The LOMR-F must be obtained before the City will issue the Certificate of Occupancy for Residential Building A.

Please provide a note on the Natural Features Overlay Plan, sheet #11, outlining the necessity and timing of the LOMR-F.

*This note has been added.*

**City of Ann Arbor – Planning Department – Ms. Alexis DiLeo – March 26, 2018**

1. Mechanical units are not permitted in the front setback area. Move the proposed mechanical unit between Building B and Neilsen Court.



*This was an element of the planned project to allow this building wall screening of the mechanical systems within the front setback. Excerpt from Planned Project Application:*

### C. Modification(s) Request

The applicant requests the following area, height and placement modifications of the following section(s) of the Zoning Ordinance:

5.43C requires a 10 ft. setback from lot lines that abut a public street and additional side and rear setbacks for buildings exceeding 50 feet in length and 35 feet in height. The following reductions are proposed:

Building A front setback (patio enclosure) to 2 ft at Broadway Street. Building elevation setback ranges from 18 ft. to 59 ft.

Building A side setback to 20 ft. Setback ranges from 20 ft. to 40 ft.

Building A rear setback to 48 ft. Setback ranges from 48 ft. to 110 ft.

Building B front setback (lobby tower) to 7 ft. at Maiden Lane.

Building B front setback (generator enclosure) to 2 ft. at Nielsen Court.

Building C front setback (retail frontage) to 3 ft. at Broadway Street and to 5 ft. at Maiden Lane. Building elevation setback ranges from 3ft. to 9ft. along Broadway Street.

2. As the Washtenaw County Water Resources Commissioner has jurisdiction over this development, contact the WCWRC to confirm the proposed phasing plan (and/or land division) does not impact their previous approval or get an updated approval if required.

*We have met with the WCWRCO representative, Theresa Marsik to review the plans as submitted. We have also submitted copy of these plans and the reciprocal easement agreement for her review.*

### City of Ann Arbor – Traffic – Ms. Cynthia Redinger – March 26, 2018

- The site plan shows curved sidewalks adjacent to the roundabout. These features can be very disorienting for a visually impaired pedestrian. Sidewalks shall change direction with angles.  
*These walks are now proposed to be angular.*
- The landscape plan shows street trees placed in the sight triangles for the roundabout. The site triangles shall be kept clear of all obstruction.  
*These two trees have new locations on the revised plans to avoid sight triangles.*

- The site plan sheets have inconsistently shown the use of the old Broadway right of way. Please verify intentions.  
*Pre direction of City Planning and Engineering staff the elements of the Broadway License agreement are not being shown in the Site Plans, however are being shown in the detailed engineering plan set and a in separate licensing agreement documents to be submitted to the engineering group for review.*
- Some motorized off-site improvements have been included in the plans. However, not all of the committed to off-site improvements have been shown.  
*We did notice that the proposed sidewalk along Plymouth Road was not shown on the plans previously and have been added to this plan set as revised.*

Should you or any of the City Staff have further concerns or have further questions, please feel free to contact me by phone at 734.389.5303 or email at [tjc@midwesternconsulting.com](mailto:tjc@midwesternconsulting.com). We look forward to your feedback.

Sincerely,

MIDWESTERN CONSULTING



Thomas J. Covert

Senior Associate / Senior Project Manager